PROPOSED DUAL OCCUPANCY 13 Gowlland Pde Panania NSW 2213



A	Issue for DA	18.08.23	DM	DM
Issue	Amendment	Date	Drwn	Chk'd

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Client

Tony Martorano

Project: PROPOSED DUAL OCCUPANCY

Address

Lot 37 DP 232662

13 Gowlland Pde Panania NSW 2213



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Dwg Name: COVER PAGE





BASIX[°]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1406403S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Wednesday, 16 August 2023 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	MAT002 LH_02		
Street address	13 Gowlland Parad	e PANANIA 2213	
Local Government Area	Canterbury-Bankste	Canterbury-Bankstown Council	
Plan type and plan number	deposited 232662		
Lot no.	37		
Section no.	-		
Project type	attached dwelling h	ouse	
No. of bedrooms	4		
Project score			
Water	¥ 42	Target 40	
Thermal Comfort	V Pass	Target Pass	
Energy	v 52	Target 50	

page 1/7

Certificate Prepared by Name / Company Name: Thermal Performance ABN (if applicable): 64 137 428 767

BASIX[°]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1406404S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Wednesday, 16 August 2023 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary	
Project name	MAT002 RH_02
Street address	13 Gowlland Parade PA
Local Government Area	Canterbury-Bankstown
Plan type and plan number	deposited 232662
Lot no.	37
Section no.	-
Project type	attached dwelling house
No. of bedrooms	4
Project score	
Water	¥ 42
Thermal Comfort	V Pass
Energy	52

Certificate Prepared by
Name / Company Name: Thermal Performance
ABN (if applicable): 64 137 428 767

MAT002 RH BASIX Certificate 20230816

Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 1406404S_02 Wednesday, 16 August 2023

Nationwide Hou NatHERS Certifi	se Energy Rating Scheme icate No. 0008833493	A K	
Generated on 16 Aug 202	3 using BERS Pro v4.4.1.5 (3.21)		.4
Property		NATIO	NWIDF
Address	Unit Left, 13 Gowlland Parade , PANANIA , NSW 2213		
Lot/DP	37/232662		
NCC Class*		60	0 M.I/m ²
Туре	New Dwelling	Predicted annua heating and cooling	I energy load for based on standard
Plans		For more i	information on
Main plan	Tony	www.nat	hers.gov.au
Prepared by	Martor Design		
Construction and	environment	Thermal per	rformance
Assessed floor area (m ²)	Exposure type	Heating	Cooling
Conditioned* 150.0	Suburban	36.1	23.8
Unconditioned* 21.0	NatHERS climate zone	M I/m ²	M I/m ²
Total 171.0	56	IVIJ/III	IVIJ/III
Garage 18.0			
		About the rating	
Accredited Name Business name Email	Brad Hoad Thermal Performance brad@thermalperformance.com.au	NatHERS software thermal energy loa about the design a and common patte The software does appliances, apart f from ceiling fans.	a models the expected ds using information nd construction, clima rms of household use. not take into account rom the airflow impact
Phone	0458-221-211		
Accreditation No.	20731	Verification	
Assessor Accrediting Or	ganisation	To verify this certificate scan the	
ABSA		QR code or visit	
Declaration of interest	Declaration completed: no conflicts	www.hstar.com.au	QR/Generate?
		When using either	link, ensure you are
		visiting www.hstar.	com.au
National Construction Code	e (NCC) requirements		
The NCC's requirements for NatH are detailed in J0.2 and J5 to J8 o	ERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the fthe NCC Volume One.	NCC Volume Two. For apar	tments the requirements
In NCC 2019, these requirements apartments through the NatHERS limited to: insulation installation me and NatHERS Heating and Coolin	include minimum star ratings and separate heating and cooling assessment. Requirements additional to the NatHERS assessr sthods, thermal breaks, building sealing, water heating and pun g Load Limits (Australian Building Codes Board Standard) are a	load limits that need to be n nent that must also be satisf uping, and artificial lighting n available at www.abcb.gov.a	net by buildings and fied include, but are not equirements. The NCC u.

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_20_0 Certificate No.: 1406403S_02 Wednesday, 16 August 2023

*** Nationwide House Energy Rating Scheme NatHERS Certificate No. 0008833485 5.4 Generated on 16 Aug 2023 using BERS Pro v4.4.1.5 (3.21) Property NATIONWIDE HOUSE Address Unit Right, 13 Gowlland Parade , PANANIA , NSW 2213 Lot/DP 37/232662 NCC Class* 1A 59.1 MJ/m² Туре New Dwelling Plans Main plan Tony Martor Design Prepared by Thermal performance Construction and environment Cooling Heating Assessed floor area (m²)* Exposure type Conditioned* 150.0 39.2 20.0 Suburban Unconditioned* 21.0 NatHERS climate zone MJ/m² MJ/m² 171.0 Total 56 Garage 18.0 About the rating NatHERS software models the expected Accredited assessor thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account Brad Hoad Name Thermal Performance Business name appliances, apart from the airflow impacts Email brad@thermalperformance.com.au from ceiling fans. Phone 0458-221-211 Verification To verify this certificate, scan the OR code or visit 20731 Accreditation No. Assessor Accrediting Organisation ABSA Declaration of interest Declaration completed: no conflicts www.hstar.com.au/QR/Generate? p=SVqfksRKe. When using either link, ensure you are visiting www.hstar.com.au National Construction Code (NCC) requirements The NCC's requirements for NaHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One. In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to insulation installation methods, thermal preaks, building sealing, water heating and pumping, and artificial liphting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au. State and territory variations and additions to the NCC may also apply. * Refer to glossary Generated on 16 Aug 2023 using BERS Pro v4.4.1.5 (3.21) for Unit Right, 13 Gowlland Parade , PANANIA , NSW , 2213 Page 1 of 9

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Project North	Job No. 23001	Drawing N	\02
	No. of sheets 2 of 14	Amend't	4
	Scale As shown @ A3	Date: APR 23	Drawn: DM



LEGEND - DEMOLITION

EXTENT OF SITE BOUNDARY

EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.

EXISTING SITE WORKS TO BE REMOVED /

EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.

EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

NB: CARE MUST BE TAKEN WHILE CARRYING OUT THE WORKS.

PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND

REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.



DEVELOPMENT DATA	
Site area:	597.8m ²
Dwelling 1 Ground floor: First floor: Garage: Patio: Alfresco: Courtyard: Total proposed dwelling area:	77.94m ² 71.50m ² 18.12m ² 5.40m ² 16.05m ² 14.38m ² 205.47m ²
Dwelling 2 Ground floor: First floor: Garage: Patio: Alfresco: Courtyard: Total proposed dwelling area:	77.94m ² 71.50m ² 18.12m ² 5.40m ² 16.05m ² 14.38m ² 205.47m ²
Floor space ratio:	298.88m² 49.9%
Per dwelling	
Landscape area:	101.48m ²
Frontage landscape area:	23.68m ² 48.30%
Private Open Space per dwelling:	80.30m ²



Legend - Site

Extent of site boundary
Extent of new powder coated m.s security fence. Refer also to fence detail & finishes schedule
Extent of proposed new building
Extent of existing building works to be removed / demolished
Landscaping
Existing trees to remain. Refer also to Landscape drawing.
Existing trees to be removed. Refer also to Landscape drawing.
Stormwater pit. Refer also to drainage drawing.
Existing level. Refer also to survey.
Proposed levels,. Refer also to drainage drawing.





SITE ANALYSIS PLAN

1

Scale 1:200



ANALYSIS LEGEND		
	\diamond	OVERLOOKING
E	- 25	EXISTING CONTOURS
IG BUILDINGS TO BE REMOVED	∇	ACCESS TO SITE
E OPEN SPACE	>	VIEWS
IG TREES TO REMAIN	-₩→	NOISE SOURCE
IG TREES TO BE REMOVED	2	NUMBER OF STOREYS

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LEGEND - PLAN



Nom. 240mm thick brick veneer wall, c/w cement rendered & selected paint finish to external face & 13mm plasterboard lining to internal face, selected paint finish.

Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.

Non-slip ceramic floor tiles. Refer to finishes schedule

Carpet / timber floor finish. Refer to finishes schedule

Proposed levels. Refer also to drainage drawing. RL 9.100+

LEGE	ND
BFC C CONC CR CT C/W DP FG FG HWU NS-CT PB RWT SMR STF STR TIM V	BROOM FINISHED CONCRETE CARPET AS SPECIFIED CONCRETE CEMENT RENDERED FINISH CERAMIC TILES COMPLETE WITH DOWNPIPE DOWNPIPE & SPREADER FIXED GLASS FLOOR WASTE GRATED DRAIN HOT WATER UNIT NON-SLIP CERAMIC TILE PLASTERBOARD LINING RAINWATER TANK SHEET METAL ROOF STEEL TROWEL FINISHED CONCRETE SHEET TRANSLUCENT ROOF TIMBER FLOORING VINYL

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Dwg Name: GROUND FLOOR PLAN

Project North	Job No.	Drawing N	0.
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\square	No. of sheets 6 of 14	Amend't	4
\square	Scale As shown @ A3	Date: APR 23	Drawn: DM



LEGEND - PLAN



Nom. 240mm thick brick veneer wall, c/w cement rendered & selected paint finish to external face & 13mm plasterboard lining to internal face, selected paint finish.

Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.

Non-slip ceramic floor tiles. Refer to finishes schedule

Carpet / timber floor finish. Refer to finishes schedule

RL 9.100+ Proposed levels. Refer also to drainage drawing.

LEGE	ND
BFC C CONC CR CT C/W DP FG FG FW GD HWU NS-CT PB RWT SMR STF	BROOM FINISHED CONCRETE CARPET AS SPECIFIED CONCRETE CEMENT RENDERED FINISH CERAMIC TILES COMPLETE WITH DOWNPIPE DOWNPIPE & SPREADER FIXED GLASS FLOOR WASTE GRATED DRAIN HOT WATER UNIT NON-SLIP CERAMIC TILE PLASTERBOARD LINING RAINWATER TANK SHEET METAL ROOF STEEL TROWEL FINISHED CONCRETE
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Dwg Name: FIRST FLOOR PLAN







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Job No. 23001

o. of sheets 8 of 14 Scale As shown @ A3 ving No.

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Date: Drawn: APR 23 DM

Dwg Name: ROOF PLAN

Project North







NORTH ELEVATION 1:100

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Dwg Name: ELEVATIONS

Project North	^{ЈоБ No.} 23001	Drawing No.	.09
	No. of sheets 9 of 14	Amend't	4
	Scale As shown @ A3	Date: APR 23	Drawn: DM





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SOUTH ELEVATION

1:100

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Dwg Name: ELEVATIONS

Project North	Job No. 23001	Drawing N	\10
	No. of sheets 10 of 14	Amend't	4
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Project North Job No wing No 23001 DA11 . of sh ΓA 11 of 14 Date: Drawn: APR 23 DM As shown @ A3

horizontal fc cladding paint finish, Dulux Shale Grey or similar—

-fc cladding paint finish, Dulux Monument or similar



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