

# PROPOSED DUAL OCCUPANCY

13 Gowlland Pde Panania NSW 2213



| A Issue for DA                                                                                                                                                 |           | 18.06.23 DM DM |      |       |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------------|------|-------|
| Issue                                                                                                                                                          | Amendment | Date           | Drwn | Chk'd |
| 1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.                                                                                                    |           |                |      |       |
| 2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.                                                                            |           |                |      |       |
| 3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.                 |           |                |      |       |
| 4. THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY MARTOR DESIGN |           |                |      |       |
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Client:  
**Tony Martorano**

Project:  
**PROPOSED DUAL OCCUPANCY**

Address  
**Lot 37 DP 232662  
13 Gowlland Pde Panania NSW  
2213**

**martor design**  
architecture | design | interiors



Dwg Name:  
**COVER PAGE**

|                                                                                  |                |             |        |  |
|----------------------------------------------------------------------------------|----------------|-------------|--------|--|
| CAD File: C:\Users\domen\OneDrive\Documents\13 Gowlland\Gowlland Pde Panania.pln |                |             |        |  |
| Project North                                                                    | Job No.        | Drawing No. |        |  |
|                                                                                  | <b>23001</b>   | <b>DA01</b> |        |  |
|                                                                                  | No. of sheets  | Amend't     |        |  |
|                                                                                  | <b>1 of 14</b> | <b>A</b>    |        |  |
| Scale                                                                            |                | Date:       | Drawn: |  |
| As shown @ A3                                                                    |                | APR 23      | DM     |  |

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Single Dwelling

Certificate number: 1406403S\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Wednesday, 16 August 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project summary           |                                 |             |
|---------------------------|---------------------------------|-------------|
| Project name              | MAT002 LH_02                    |             |
| Street address            | 13 Gowlland Parade PANANIA 2213 |             |
| Local Government Area     | Canterbury-Bankstown Council    |             |
| Plan type and plan number | deposited 232662                |             |
| Lot no.                   | 37                              |             |
| Section no.               | -                               |             |
| Project type              | attached dwelling house         |             |
| No. of bedrooms           | 4                               |             |
| Project score             |                                 |             |
| Water                     | ✔ 42                            | Target 40   |
| Thermal Comfort           | ✔ Pass                          | Target Pass |
| Energy                    | ✔ 52                            | Target 50   |

| Certificate Prepared by                  |  |
|------------------------------------------|--|
| Name / Company Name: Thermal Performance |  |
| ABN (if applicable): 64 137 428 767      |  |

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Date of issue: Wednesday, 16 August 2023  
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| Project summary           |                                 |             |
|---------------------------|---------------------------------|-------------|
| Project name              | MAT002 RH_02                    |             |
| Street address            | 13 Gowlland Parade PANANIA 2213 |             |
| Local Government Area     | Canterbury-Bankstown Council    |             |
| Plan type and plan number | deposited 232662                |             |
| Lot no.                   | 37                              |             |
| Section no.               | -                               |             |
| Project type              | attached dwelling house         |             |
| No. of bedrooms           | 4                               |             |
| Project score             |                                 |             |
| Water                     | ✔ 42                            | Target 40   |
| Thermal Comfort           | ✔ Pass                          | Target Pass |
| Energy                    | ✔ 52                            | Target 50   |

| Certificate Prepared by                  |  |
|------------------------------------------|--|
| Name / Company Name: Thermal Performance |  |
| ABN (if applicable): 64 137 428 767      |  |

# MAT002 RH BASIX<sup>®</sup>Certificate 20230816

### Nationwide House Energy Rating Scheme

#### NatHERS Certificate No. 0008833493

Generated on 16 Aug 2023 using BERS Pro v4.4.1.5 (3.21)

#### Property

**Address** Unit Left, 13 Gowlland Parade , PANANIA , NSW , 2213

**Lot/DP** 37/232662

**NCC Class\*** 1A

**Type** New Dwelling

#### Plans

**Main plan** Tony

**Prepared by** Martor Design

#### Construction and environment

|                                             |                             |
|---------------------------------------------|-----------------------------|
| <b>Assessed floor area (m<sup>2</sup>)*</b> | <b>Exposure type</b>        |
| Conditioned* 150.0                          | Suburban                    |
| Unconditioned* 21.0                         | <b>NatHERS climate zone</b> |
| Total 171.0                                 | 56                          |
| Garage 18.0                                 |                             |

#### Thermal performance

|                   |                   |
|-------------------|-------------------|
| <b>Heating</b>    | <b>Cooling</b>    |
| 36.1              | 23.8              |
| MJ/m <sup>2</sup> | MJ/m <sup>2</sup> |

**About the rating**

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

#### Verification

To verify this certificate, scan the QR code or visit [www.hstar.com.au/QR/Generate? p=GGUMZuY](http://www.hstar.com.au/QR/Generate? p=GGUMZuY). When using either link, ensure you are visiting [www.hstar.com.au](http://www.hstar.com.au)

#### Accredited assessor

**Name** Brad Hoad

**Business name** Thermal Performance

**Email** [brad@thermalperformance.com.au](mailto:brad@thermalperformance.com.au)

**Phone** 0458-221-211

**Accreditation No.** 20731

**Assessor Accrediting Organisation** ABSA

**Declaration of interest** Declaration completed: no conflicts

#### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

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State and territory variations and additions to the NCC may also apply.

### Nationwide House Energy Rating Scheme

#### NatHERS Certificate No. 0008833485

Generated on 16 Aug 2023 using BERS Pro v4.4.1.5 (3.21)

#### Property

**Address** Unit Right, 13 Gowlland Parade , PANANIA , NSW , 2213

**Lot/DP** 37/232662

**NCC Class\*** 1A

**Type** New Dwelling

#### Plans

**Main plan** Tony

**Prepared by** Martor Design

#### Construction and environment

|                                             |                             |
|---------------------------------------------|-----------------------------|
| <b>Assessed floor area (m<sup>2</sup>)*</b> | <b>Exposure type</b>        |
| Conditioned* 150.0                          | Suburban                    |
| Unconditioned* 21.0                         | <b>NatHERS climate zone</b> |
| Total 171.0                                 | 56                          |
| Garage 18.0                                 |                             |

#### Thermal performance

|                   |                   |
|-------------------|-------------------|
| <b>Heating</b>    | <b>Cooling</b>    |
| 39.2              | 20.0              |
| MJ/m <sup>2</sup> | MJ/m <sup>2</sup> |

**About the rating**

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| A                                                                                                                                                              | Issue for DA | 18.08.23 | DM   | DM    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|----------|------|-------|
| Issue                                                                                                                                                          | Amendment    | Date     | Drwn | Chk'd |
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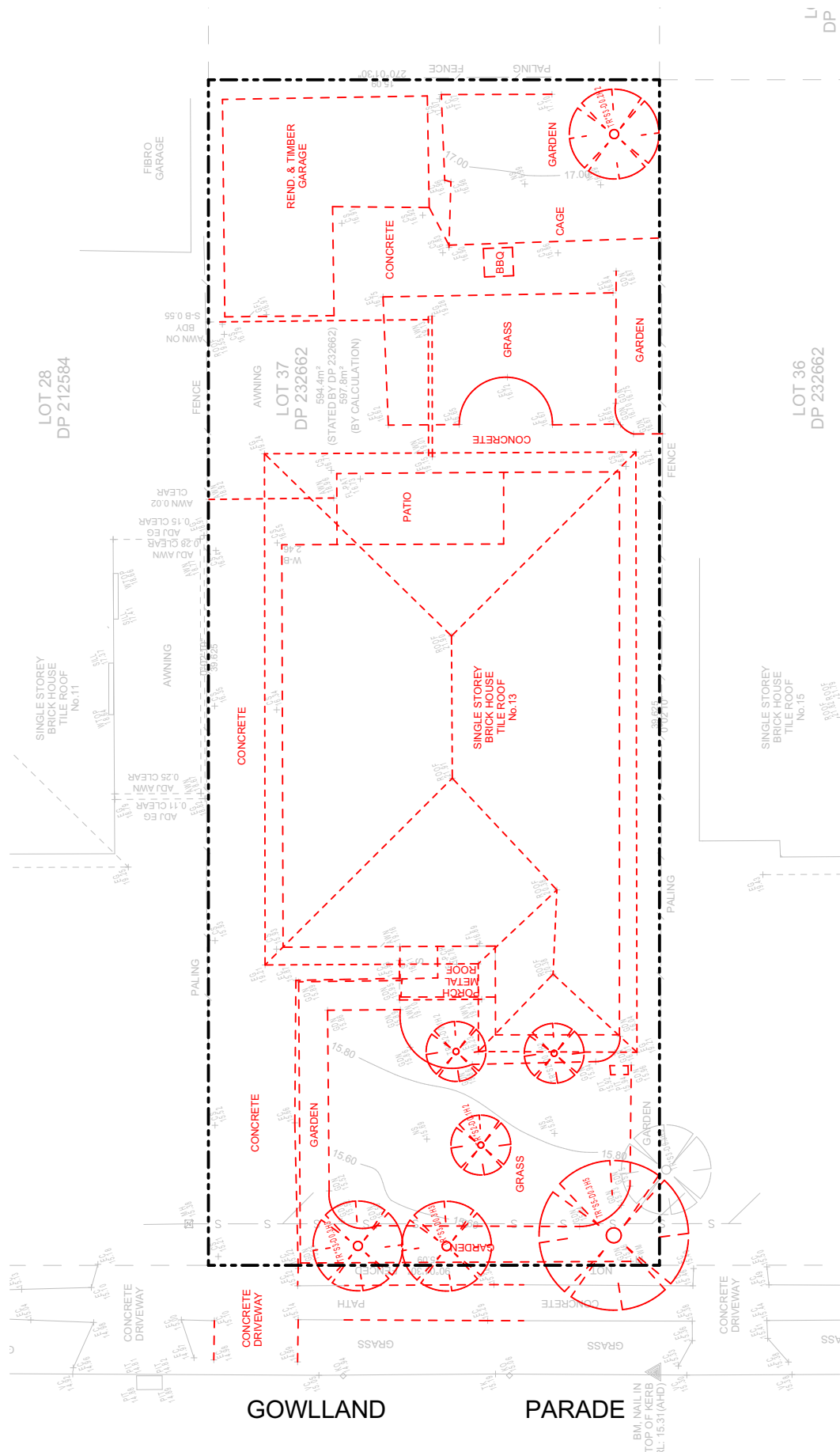
**Client:**  
**Tony Martorano**

**Project:**  
**PROPOSED DUAL OCCUPANCY**

**Address**  
**Lot 37 DP 232662**  
**13 Gowlland Pde Panania NSW 2213**

**martor design**  
architecture | design | interiors

|                                                                                  |                                 |                            |
|----------------------------------------------------------------------------------|---------------------------------|----------------------------|
| Dwg Name:<br>BASIX                                                               |                                 |                            |
| CAD File: C:\Users\domen\OneDrive\Documents\13 Gowlland\Gowlland Pde Panania.pht |                                 |                            |
| Project North                                                                    | Job No.<br><b>23001</b>         | Drawing No.<br><b>DA02</b> |
|                                                                                  | No. of sheets<br><b>2 of 14</b> | Amend't<br><b>A</b>        |
| Scale<br>As shown @ A3                                                           | Date:<br><b>APR 23</b>          | Drawn:<br><b>DM</b>        |



**1 DEMOLITION PLAN**  
Scale 1:200

## LEGEND - DEMOLITION

--- EXTENT OF SITE BOUNDARY

EXISTING STRUCTURES TO BE DEMOLISHED.  
REPAIR & REINSTATE ADJOINING SURFACES.

EXISTING SITE WORKS TO BE REMOVED /  
DEMOLISHED

EXISTING TREES TO REMAIN. REFER ALSO TO  
LANDSCAPE DRAWING.

EXISTING TREES TO BE REMOVED. REFER ALSO  
TO LANDSCAPE DRAWING.

+ 58.03 EXISTING LEVELS

PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS  
NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

NB: CARE MUST BE TAKEN WHILE CARRYING OUT THE WORKS.

PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS  
INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND  
THE LIKE.

REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED  
IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING,  
GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM,  
NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING  
JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO  
THAT THEY CAN BE REMOVED WITHOUT DANGER.

| Issue | Amendment | Date | Drwn | Chk'd |
|-------|-----------|------|------|-------|
|-------|-----------|------|------|-------|

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Client:

**Tony Martorano**

Project:

**PROPOSED DUAL OCCUPANCY**

Address

**Lot 37 DP 232662  
13 Gowlland Pde Panania NSW  
2213**

**martor design**  
architecture | design | interiors

**MD**

Dwg Name:  
**DEMOLITION PLAN**

|                        |                                 |                            |
|------------------------|---------------------------------|----------------------------|
| Project North          | Job No.<br><b>23001</b>         | Drawing No.<br><b>DA03</b> |
|                        | No. of sheets<br><b>3 of 14</b> | Amend't<br><b>A</b>        |
| Scale<br>As shown @ A3 | Date:<br><b>APR 23</b>          | Drawn:<br><b>DM</b>        |

## DEVELOPMENT DATA

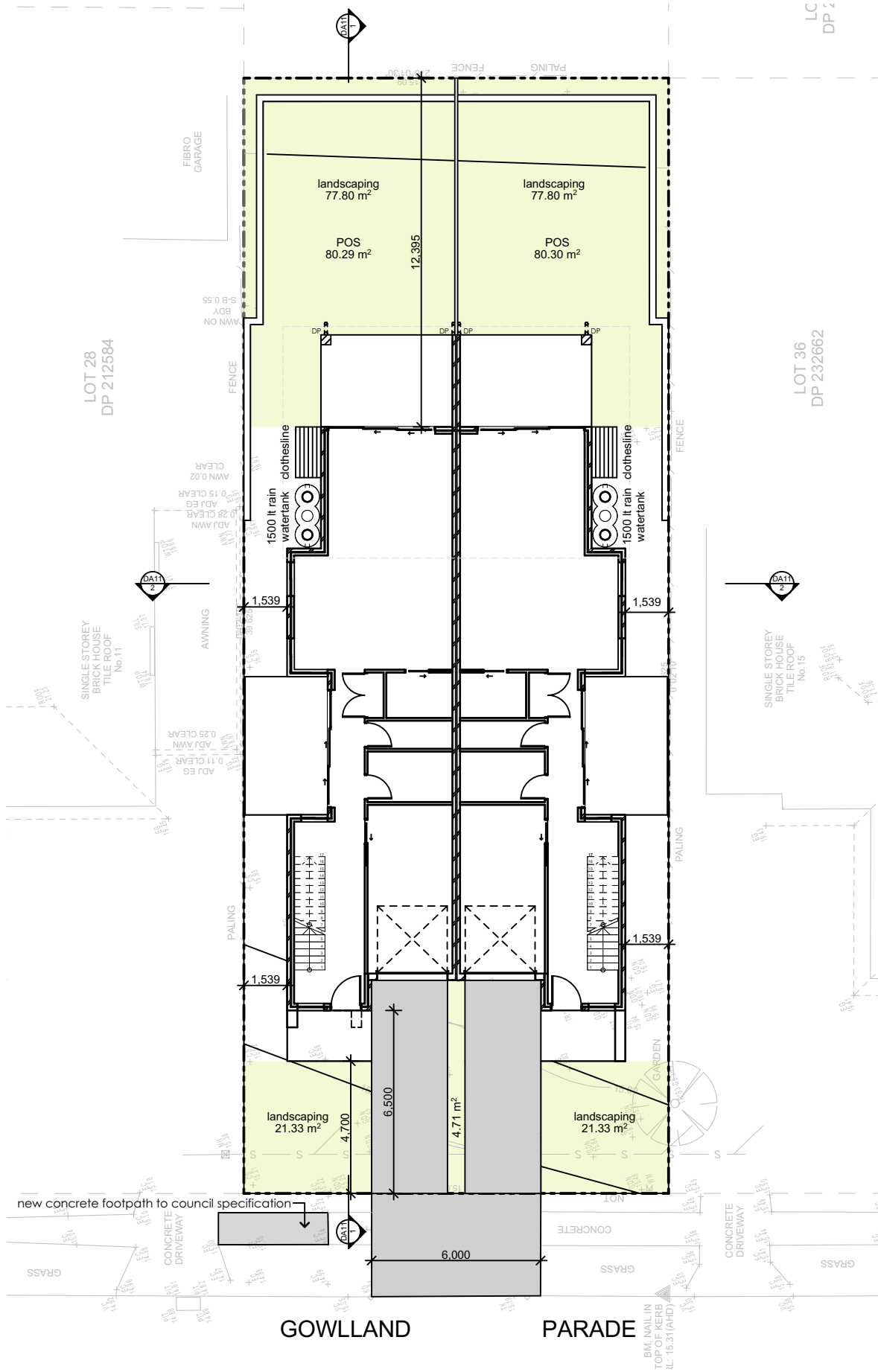
|                               |                      |
|-------------------------------|----------------------|
| Site area:                    | 597.8m <sup>2</sup>  |
| <u>Dwelling 1</u>             |                      |
| Ground floor:                 | 77.94m <sup>2</sup>  |
| First floor:                  | 71.50m <sup>2</sup>  |
| Garage:                       | 18.12m <sup>2</sup>  |
| Patio:                        | 5.40m <sup>2</sup>   |
| Alfresco:                     | 16.05m <sup>2</sup>  |
| Courtyard:                    | 14.38m <sup>2</sup>  |
| Total proposed dwelling area: | 205.47m <sup>2</sup> |

|                               |                      |
|-------------------------------|----------------------|
| <u>Dwelling 2</u>             |                      |
| Ground floor:                 | 77.94m <sup>2</sup>  |
| First floor:                  | 71.50m <sup>2</sup>  |
| Garage:                       | 18.12m <sup>2</sup>  |
| Patio:                        | 5.40m <sup>2</sup>   |
| Alfresco:                     | 16.05m <sup>2</sup>  |
| Courtyard:                    | 14.38m <sup>2</sup>  |
| Total proposed dwelling area: | 205.47m <sup>2</sup> |

|                    |                      |
|--------------------|----------------------|
| Floor space ratio: | 298.88m <sup>2</sup> |
|                    | 49.9%                |

### Per dwelling

|                                  |                      |
|----------------------------------|----------------------|
| Landscape area:                  | 101.48m <sup>2</sup> |
| Frontage landscape area:         | 23.68m <sup>2</sup>  |
|                                  | 48.30%               |
| Private Open Space per dwelling: | 80.30m <sup>2</sup>  |



## Legend - Site

|                          |                                                                                                |
|--------------------------|------------------------------------------------------------------------------------------------|
| --- --                   | Extent of site boundary                                                                        |
| ---                      | Extent of new powder coated m.s security fence. Refer also to fence detail & finishes schedule |
| [Solid black box]        | Extent of proposed new building                                                                |
| [Dashed black box]       | Extent of existing building works to be removed / demolished                                   |
| [Light green box]        | Landscaping                                                                                    |
| [Circle with crosshairs] | Existing trees to remain. Refer also to Landscape drawing.                                     |
| [Circle with dots]       | Existing trees to be removed. Refer also to Landscape drawing.                                 |
| [Square with crosshairs] | Stormwater pit. Refer also to drainage drawing.                                                |
| + 58.03                  | Existing level. Refer also to survey.                                                          |
| RL 9.100+                | Proposed levels., Refer also to drainage drawing.                                              |

| Issue | Amendment    | Date     | Drwn | Chk'd |
|-------|--------------|----------|------|-------|
| A     | Issue for DA | 18.08.23 | DM   | DM    |

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Client:

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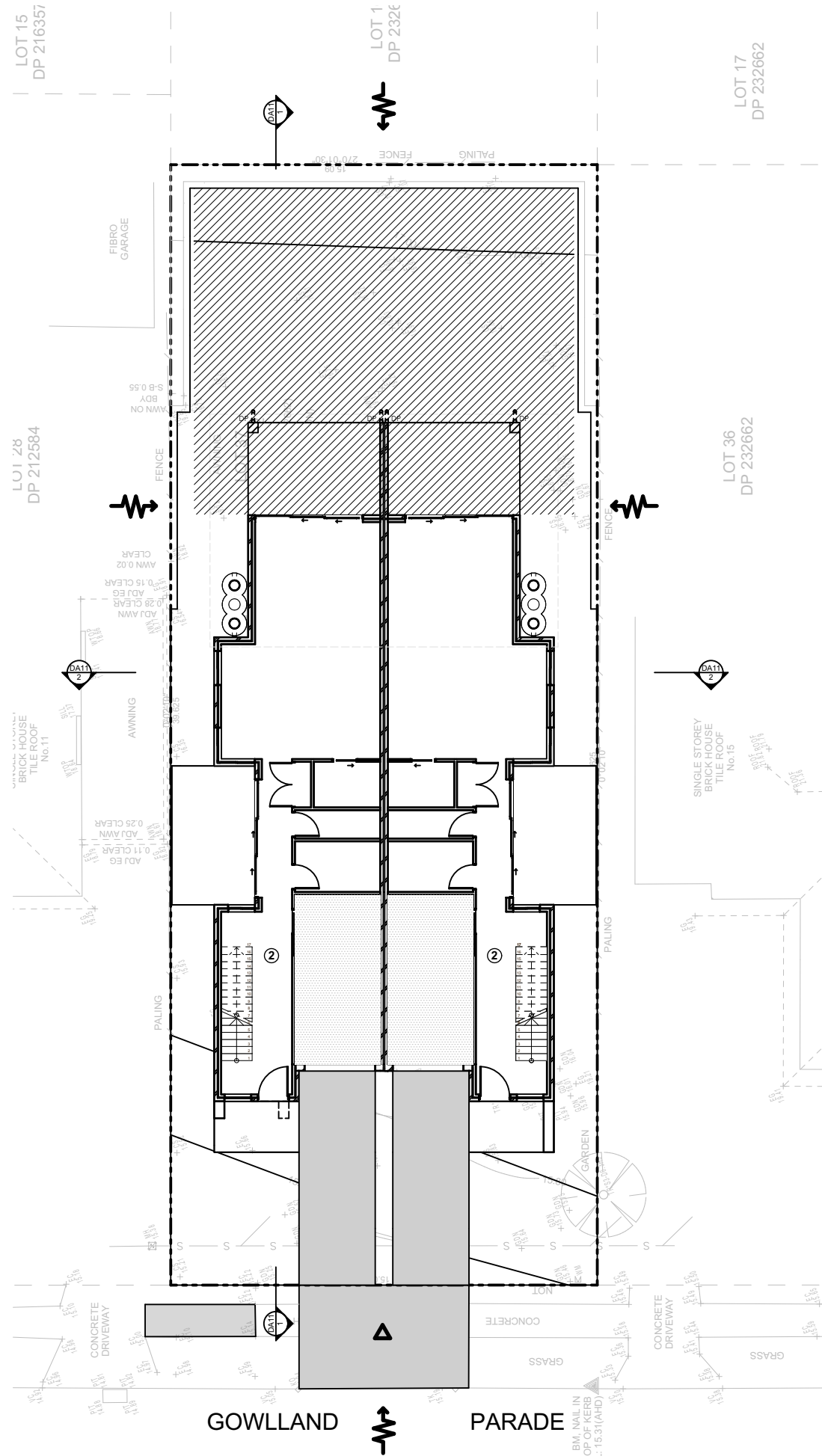
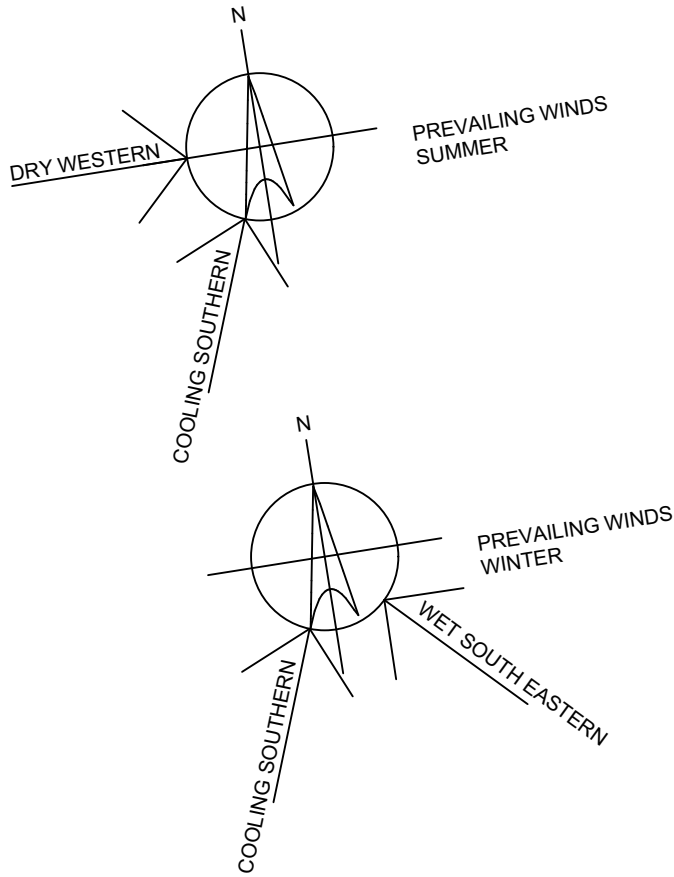
Address  
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**2213**

**martor design**  
architecture | design | interiors

**MD**

Dwg Name:  
**SITE PLAN**

|                        |                                 |                            |
|------------------------|---------------------------------|----------------------------|
| Project North          | Job No.<br><b>23001</b>         | Drawing No.<br><b>DA04</b> |
|                        | No. of sheets<br><b>4 of 14</b> | Amend't<br><b>A</b>        |
| Scale<br>As shown @ A3 | Date:<br><b>APR 23</b>          | Drawn:<br><b>DM</b>        |



SITE

GARAGE

EXISTING BUILDINGS TO BE REMOVED

PRIVATE OPEN SPACE

EXISTING TREES TO REMAIN

EXISTING TREES TO BE REMOVED

OVERLOOKING

EXISTING CONTOURS

ACCESS TO SITE

VIEWS

NOISE SOURCE

NUMBER OF STOREYS

1

SITE ANALYSIS PLAN

Scale 1:200

| A Issue for DA                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |           | 18.06.23 | DM   | DM    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------|------|-------|
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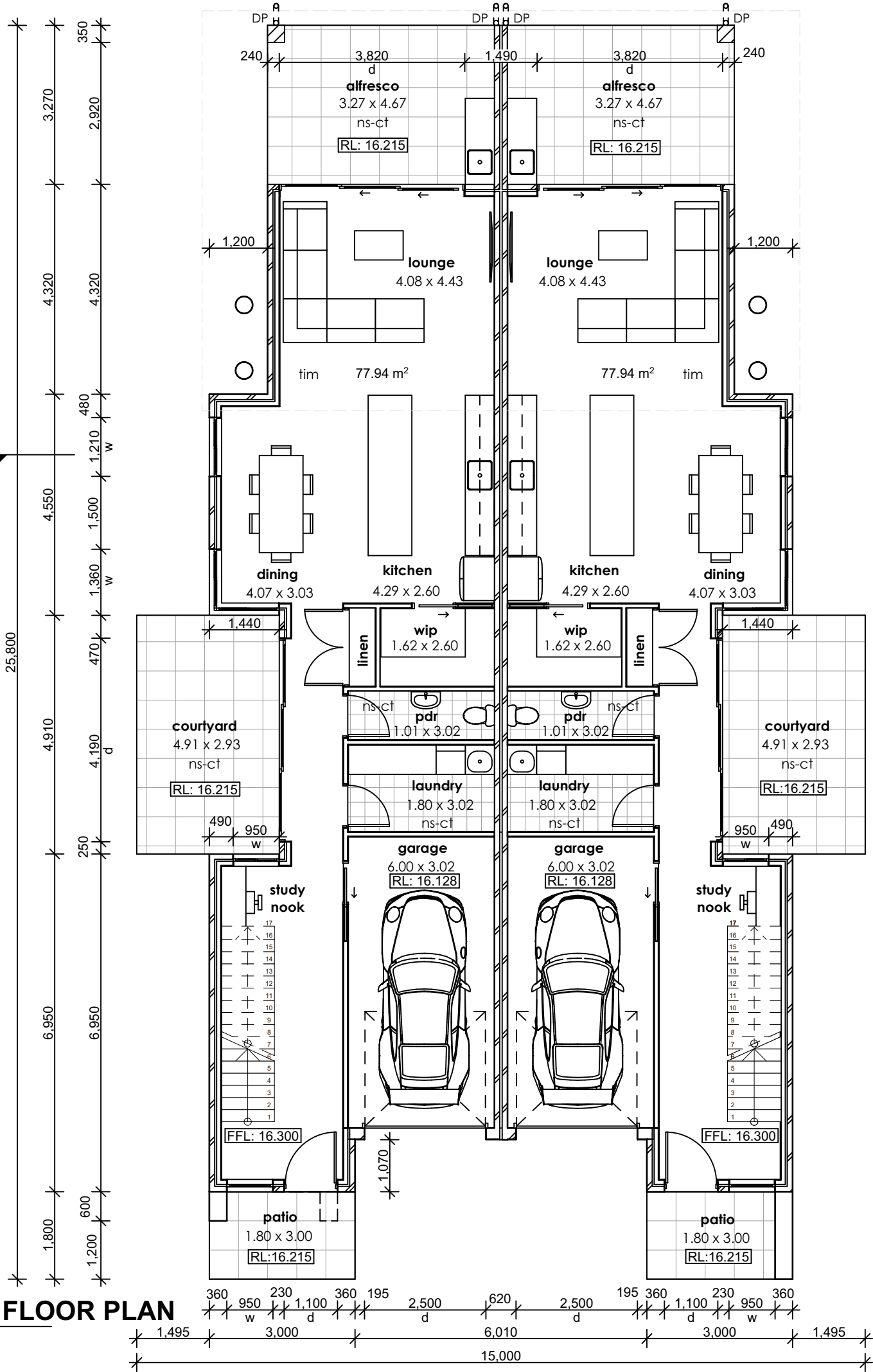
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|                                                                                  |                                 |                            |
|----------------------------------------------------------------------------------|---------------------------------|----------------------------|
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| Project North                                                                    | Job No.<br><b>23001</b>         | Drawing No.<br><b>DA05</b> |
|                                                                                  | No. of sheets<br><b>5 of 14</b> | Amend't<br><b>A</b>        |
| Scale<br>As shown @ A3                                                           | Date:<br><b>APR 23</b>          | Drawn:<br><b>DM</b>        |



LEGEND - PLAN



Nom. 240mm thick brick veneer wall, c/w cement rendered & selected paint finish to external face & 13mm plasterboard lining to internal face, selected paint finish.



Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.



Non-slip ceramic floor tiles. Refer to finishes schedule



Carpet / timber floor finish. Refer to finishes schedule

RL 9.100+

Proposed levels. Refer also to drainage drawing.

LEGEND

|       |                                |
|-------|--------------------------------|
| BFC   | BROOM FINISHED CONCRETE        |
| C     | CARPET AS SPECIFIED            |
| CONC  | CONCRETE                       |
| CR    | CEMENT RENDERED FINISH         |
| CT    | CERAMIC TILES                  |
| C/W   | COMPLETE WITH                  |
| DP    | DOWNPIPE                       |
| DPS   | DOWNPIPE & SPREADER            |
| FG    | FIXED GLASS                    |
| FW    | FLOOR WASTE                    |
| GD    | GRATED DRAIN                   |
| HWU   | HOT WATER UNIT                 |
| NS-CT | NON-SLIP CERAMIC TILE          |
| PB    | PLASTERBOARD LINING            |
| RWT   | RAINWATER TANK                 |
| SMR   | SHEET METAL ROOF               |
| STF   | STEEL TROWEL FINISHED CONCRETE |
| STR   | SHEET TRANSLUCENT ROOF         |
| TIM   | TIMBER FLOORING                |
| V     | VINYL                          |

| Issue | Amendment                                                                                                                                                   | Date | Drwn | Chk'd |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|------|------|-------|
| 1.    | DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.                                                                                                    |      |      |       |
| 2.    | BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.                                                                            |      |      |       |
| 3.    | IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.                 |      |      |       |
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Dwg Name:

GROUND FLOOR PLAN

|                        |                                 |                            |
|------------------------|---------------------------------|----------------------------|
| Project North          | Job No.<br><b>23001</b>         | Drawing No.<br><b>DA06</b> |
|                        | No. of sheets<br><b>6 of 14</b> | Amend't<br><b>A</b>        |
| Scale<br>As shown @ A3 | Date:<br><b>APR 23</b>          | Drawn:<br><b>DM</b>        |

colorbond gutter, fascia and  
downpipes to engineers details

LEGEND - PLAN

- 

Nom. 240mm thick brick veneer wall, c/w cement rendered & selected paint finish to external face & 13mm plasterboard lining to internal face, selected paint finish.
- 

Nom. 90mm stud framed wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.
- 

Non-slip ceramic floor tiles. Refer to finishes schedule
- 

Carpet / timber floor finish. Refer to finishes schedule
- RL 9.100+

Proposed levels. Refer also to drainage drawing.

LEGEND

- BFC

C

CONC

CR

CT

C/W

DP

DPS

FG

FW

GD

HWU

NS-CT

PB

RWT

SMR

STF

STR
- BROOM FINISHED CONCRETE

CARPET AS SPECIFIED

CONCRETE

CEMENT RENDERED FINISH

CERAMIC TILES

COMPLETE WITH

DOWNPIPE

DOWNPIPE & SPREADER

FIXED GLASS

FLOOR WASTE

GRATED DRAIN

HOT WATER UNIT

NON-SLIP CERAMIC TILE

PLASTERBOARD LINING

RAINWATER TANK

SHEET METAL ROOF

STEEL TROWEL FINISHED CONCRETE

SHEET TRANSLUCENT ROOF

TIMBER FLOORING

| A                                                                                                                                                              |           | Issue for DA |  | 18.08.23 |       | DM | DM |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|--------------|--|----------|-------|----|----|
| Issue                                                                                                                                                          | Amendment | Date         |  | Drwn     | Chk'd |    |    |
| 1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.                                                                                                    |           |              |  |          |       |    |    |
| 2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.                                                                            |           |              |  |          |       |    |    |
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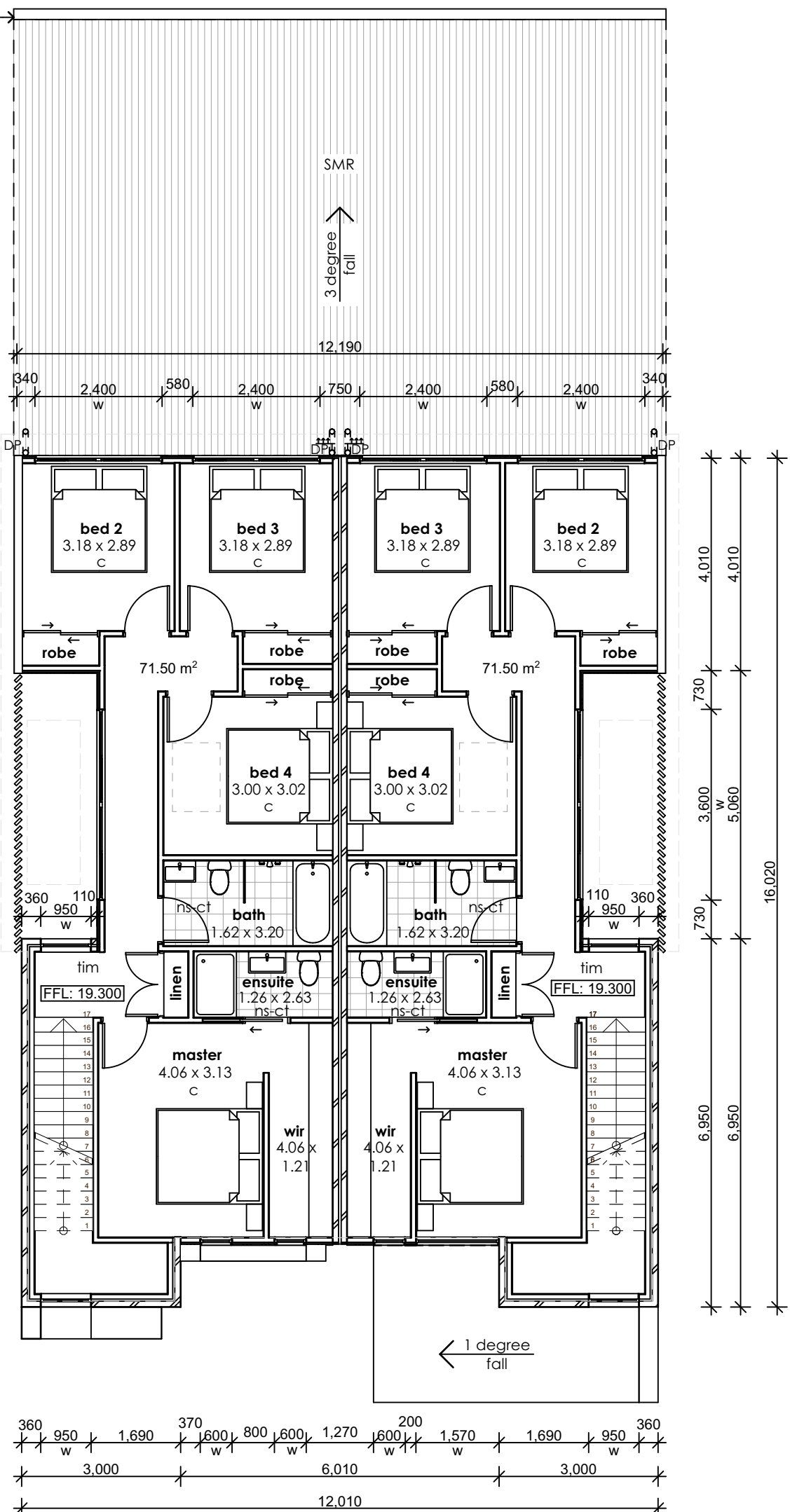
Dwg Name:

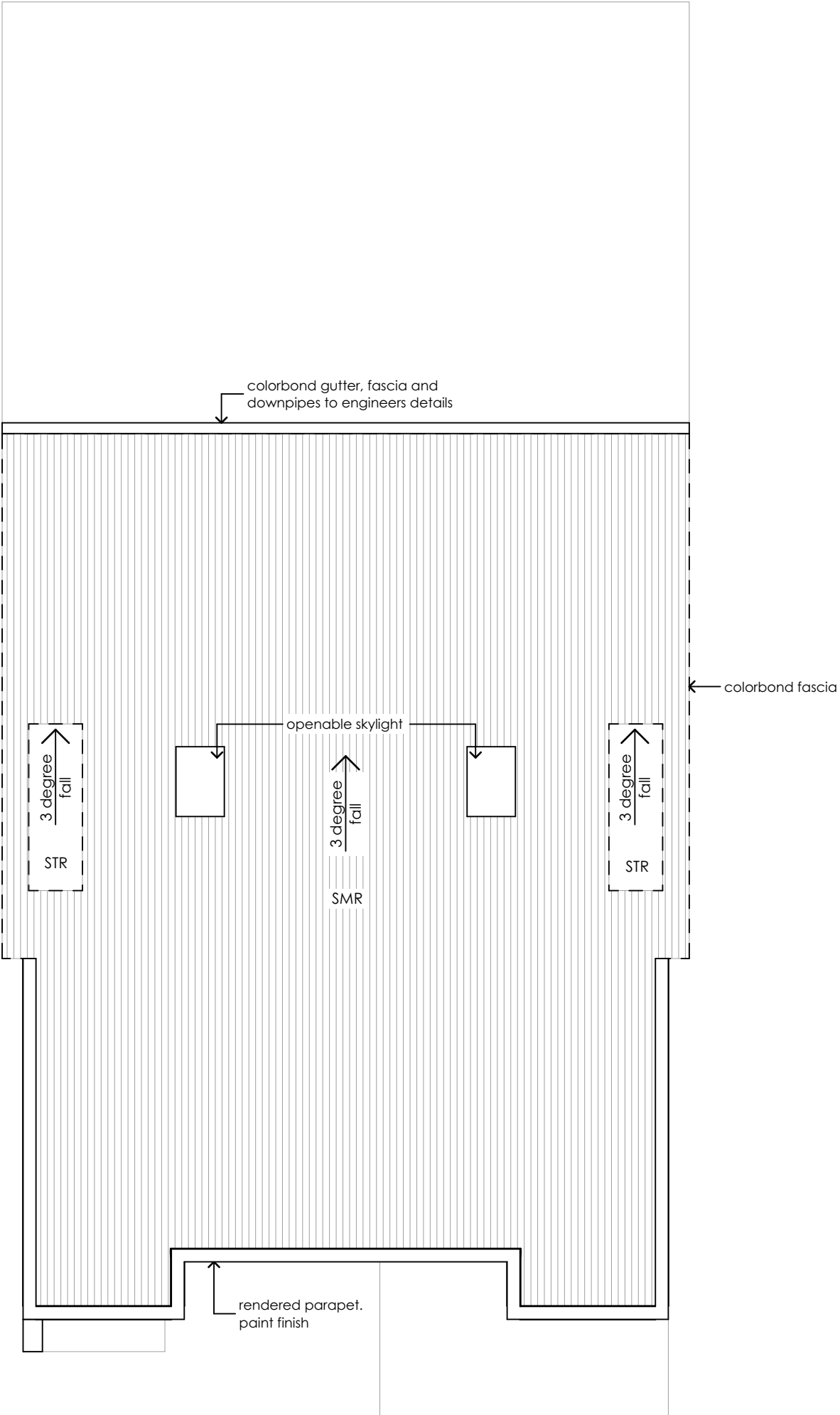
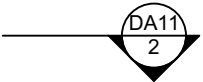
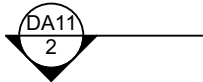
**FIRST FLOOR PLAN**

|                                                                                       |              |             |
|---------------------------------------------------------------------------------------|--------------|-------------|
| CAD File: C:\Users\domen\OneDrive\Documents\13 Gowlland\Gowlland Pde Panania.pln      |              |             |
| Project North                                                                         | Job No.      | Drawing No. |
|  | <b>23001</b> | <b>DA07</b> |
| No. of sheets                                                                         | Amend't      |             |
| <b>7 of 14</b>                                                                        | <b>A</b>     |             |
| Scale                                                                                 | Date:        | Drawn:      |
| As shown @ A3                                                                         | APR 23       | DM          |

**1 FIRST FLOOR PLAN**

Scale 1:100





**1 ROOF PLAN**  
Scale 1:100

| A Issue for DA                                                                                                                                                 |           | 18.08.23 DM DM |            |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------------|------------|
| Issue                                                                                                                                                          | Amendment | Date           | Drwn Chk'd |
| 1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.                                                                                                    |           |                |            |
| 2. BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.                                                                            |           |                |            |
| 3. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.                 |           |                |            |
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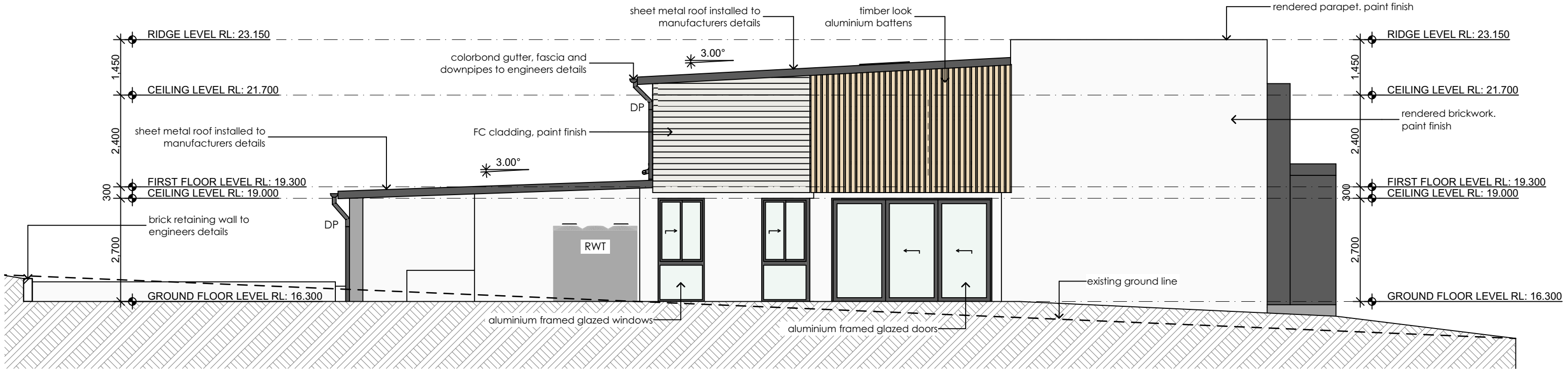
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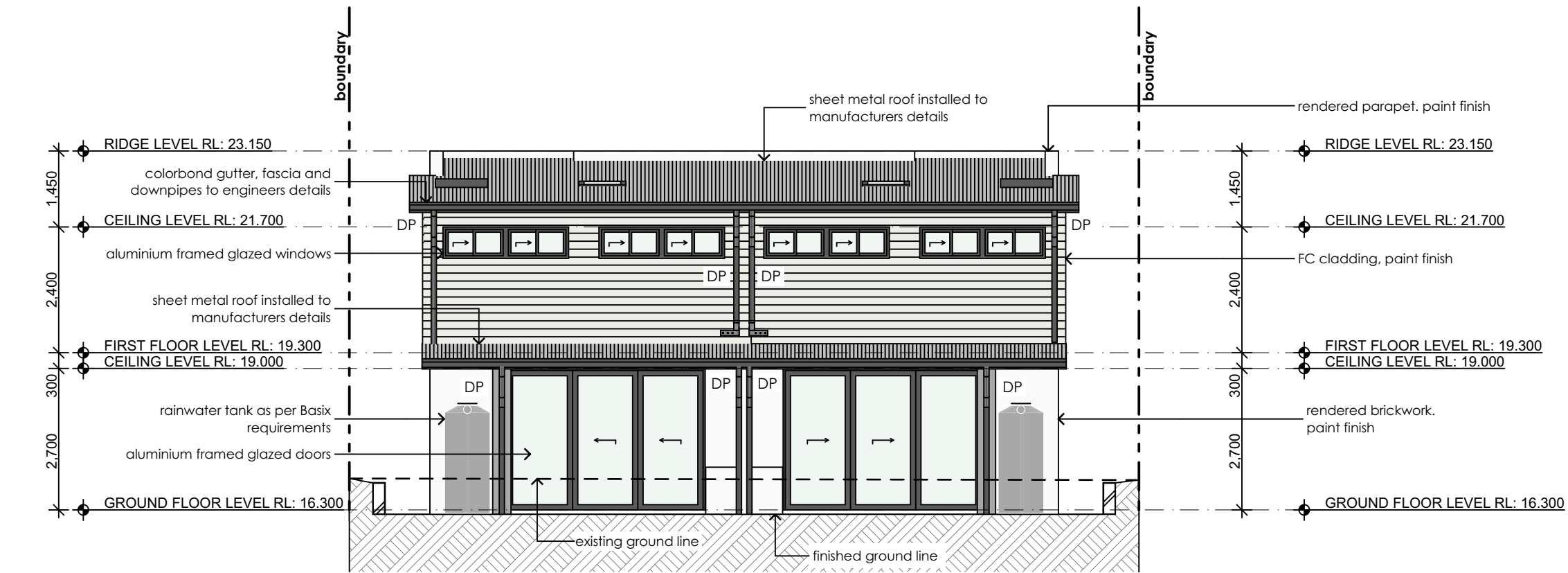
Dwg Name:  
**ROOF PLAN**

|                                                                                       |               |  |             |  |        |
|---------------------------------------------------------------------------------------|---------------|--|-------------|--|--------|
| CAD File: C:\Users\domen\OneDrive\Documents\13 Gowlland\Gowlland Pde Panania.pln      |               |  |             |  |        |
|  | Job No.       |  | Drawing No. |  |        |
|                                                                                       | 23001         |  | DA08        |  |        |
|                                                                                       | No. of sheets |  | Amend't     |  |        |
|                                                                                       | 8 of 14       |  | A           |  |        |
|                                                                                       | Scale         |  | Date:       |  | Drawn: |
|                                                                                       | As shown @ A3 |  | APR 23      |  | DM     |



1  
-

WEST ELEVATION  
1:100



2  
-

NORTH ELEVATION  
1:100

| A     | Issue for DA | 18.08.23 | DM   | DM    |
|-------|--------------|----------|------|-------|
| Issue | Amendment    | Date     | Drwn | Chk'd |

1. DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.  
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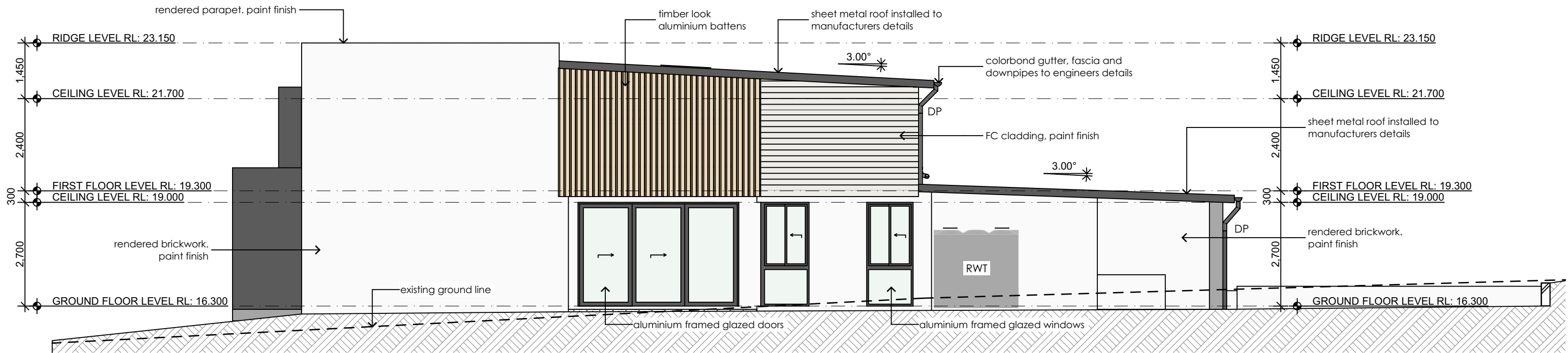
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**MD**

Dwg Name:  
**ELEVATIONS**

| Project North          | Job No.                         | Drawing No.         |
|------------------------|---------------------------------|---------------------|
|                        | <b>23001</b>                    | <b>DA09</b>         |
|                        | No. of sheets<br><b>9 of 14</b> | Amend't<br><b>A</b> |
| Scale<br>As shown @ A3 | Date:<br><b>APR 23</b>          | Drawn:<br><b>DM</b> |



1  
-

EAST ELEVATION  
1:100



2  
-

SOUTH ELEVATION  
1:100

| A                         |                                                                                                                                                             | Issue for DA |      | 18.08.23 |  | DM | DM |
|---------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|------|----------|--|----|----|
| Issue                     | Amendment                                                                                                                                                   | Date         | Drwn | Chk'd    |  |    |    |
| 1.                        | DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.                                                                                                    |              |      |          |  |    |    |
| 2.                        | BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.                                                                            |              |      |          |  |    |    |
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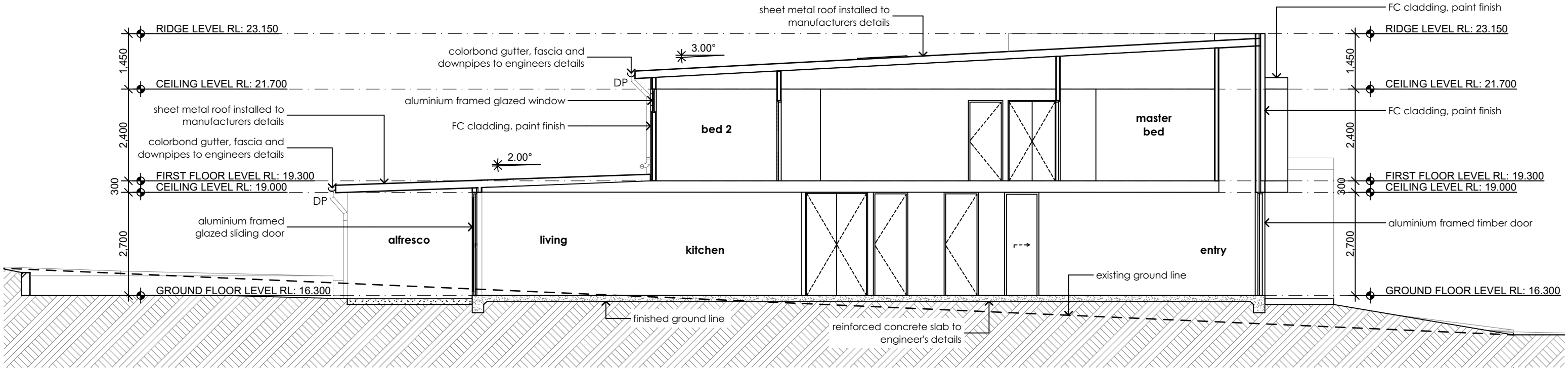
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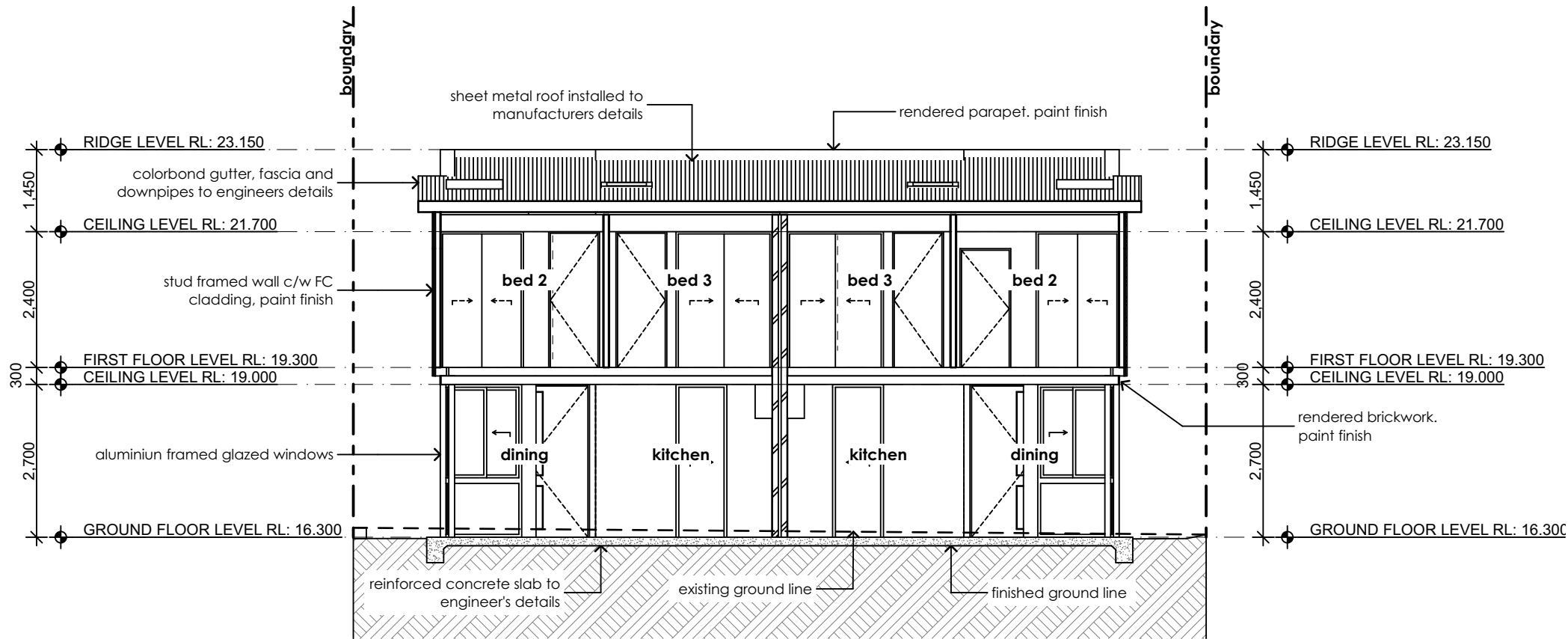
Dwg Name:  
**ELEVATIONS**

|                                                                                  |                                  |                            |
|----------------------------------------------------------------------------------|----------------------------------|----------------------------|
| CAD File: C:\Users\domen\OneDrive\Documents\13 Gowlland\Gowlland Pde Panania.pln |                                  |                            |
| Project North                                                                    | Job No.<br><b>23001</b>          | Drawing No.<br><b>DA10</b> |
|                                                                                  | No. of sheets<br><b>10 of 14</b> | Amend't<br><b>A</b>        |
| Scale<br>As shown @ A3                                                           | Date:<br><b>APR 23</b>           | Drawn:<br><b>DM</b>        |



1  
-

SECTION  
1:100



2  
-

SECTION  
1:100

| A Issue for DA |                                                                                                                                                             | 18.08.23 |       | DM    | DM |
|----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|-------|-------|----|
| Issue          | Amendment                                                                                                                                                   | Date     | Drawn | Chk'd |    |
| 1.             | DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.                                                                                                    |          |       |       |    |
| 2.             | BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.                                                                            |          |       |       |    |
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Dwg Name:  
**SECTIONS**

|                                                                                |                                  |                            |
|--------------------------------------------------------------------------------|----------------------------------|----------------------------|
| CAD File: C:\Users\domen\OneDrive\Documents\13 Gowlard\Gowlard Pde Panania.pln |                                  |                            |
| Project North                                                                  | Job No.<br><b>23001</b>          | Drawing No.<br><b>DA11</b> |
|                                                                                | No. of sheets<br><b>11 of 14</b> | Amend't<br><b>A</b>        |
| Scale<br>As shown @ A3                                                         | Date:<br><b>APR 23</b>           | Drawn:<br><b>DM</b>        |



| A     | Issue for DA                                                                                                                                                | 18.08.23 | DM   | DM    |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|------|-------|
| Issue | Amendment                                                                                                                                                   | Date     | Drwn | Chk'd |
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**Dwg Name:**  
**EXTERNAL FINISHES**

|                                                                                  |               |             |  |
|----------------------------------------------------------------------------------|---------------|-------------|--|
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| Project North                                                                    | Job No.       | Drawing No. |  |
|                                                                                  | 23001         | DA12        |  |
|                                                                                  | No. of sheets | Amend't     |  |
|                                                                                  | 12 of 14      | A           |  |
| Scale                                                                            | Date:         | Drawn:      |  |
|                                                                                  | As shown @ A3 | APR 23 DM   |  |